





Inside The Home

Discreetly positioned in the centre of Brookhouse, this architecturally designed home has been renovated to the highest of standards throughout.

To the ground floor, a large Entrance Hall welcomes you into this home, with natural light flowing through this beautiful home. Leading from this, an open plan kitchen can be found sitting at the heart of this home, with custom made roof lights and steps leading down to a spacious Dining Area. Sliding doors provide easy access to the rear garden, whilst a feature multi-fuel stove sits proudly in the room. Providing the perfect backdrop for family get togethers or socialising with friends, the cosy Living Room leads on from here, with access into the garden. A Utility Room can also be found to the rear of the property providing ample facilities for any growing family.

To the front of the home, three generous bedrooms can be found as well as a beautifully appointed shower room. The master bedroom has an incredible ensuite bathroom, with a feature roll top bath and large windows, allowing natural light to circle through this home. To the second bedroom, a handy built in store room can be found, quietly showcasing the history of the property, with the old sandstone wall of the Coach House which stood on this site beforehand.

Let's Take A Closer Look At The Area

The village of Brookhouse sits in the breath-taking Lune Valley, on the northern edge of the Forest of Bowland, Area of Outstanding Natural Beauty. Renowned for its countryside walks including the Crook O'Lune and the River Lune sitting at its heart, beautiful views can be admired. With a vibrant community surrounding this home, Brookhouse and Caton have a plethora of local shops, eateries and pubs, as well as highly regarded primary and secondary schools making this a perfect family area. With access to the M6 motorway via junction 34, and the excellent Bay Gateway, this property is perfectly placed for commuters, with access to Lancaster train station forming part of the West Coast Mainline.

Let's Step Outside

To the front of the property, a private lane provides access to this discreet home. With planted borders, a handy storage

shed and parking for multiple cars, an EV electric car charging point can also be found, as well as access to the rear.

To the rear, a large laid to lawn garden can be found providing the perfect back drop for allowing little ones to run and play. With mature shrubs, hedges and trees, a wooden summer house, this home has something for everyone. Nestled amongst the trees, a stunning work from home office studio can be found, where no expense has been spared. With a main internet feed into the studio, as well as lighting, power and air conditioning as well as separate underfloor heating, this provides the perfect lock up and leave office space.

Services

The property is fitted with a modern gas central heating boiler, and has mains electric, mains water and mains drainage. The property is also fitted B4RN 1,000mbps full fibre internet and has a main ethernet cable to the studio, meaning signal strength is never an issue.

Tenure

The property is Freehold. Freehold number: LA930277.

Council Tax

This home is Band D under Lancaster City Council.

Viewings

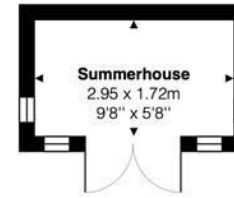
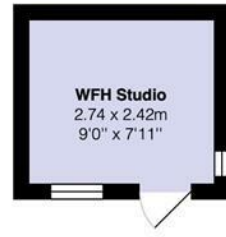
Strictly by appointment via Houseclub Estate Agency.

Energy Performance Certificate

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Energy Efficiency Rating		
	Current	Possible
Very energy efficient - lower running costs		
(92 plus) A		
(81-91) B		
(69-80) C		
(55-68) D		
(39-54) E		
(21-38) F		
(1-20) G		
Not energy efficient - higher running costs		
England & Wales	67	76

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